

§ 345-71. - Historic design standards.

- A. General standards below are considered inclusive and shall be considered in conjunction with the applicable provisions of any subsection of this section.
1. Every reasonable effort shall be made to provide a compatible use for a property that requires minimal alteration of the building structure or site and its environment or to use a property for its originally intended purpose.
  2. The distinguishing original qualities or character of a building, structure or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.
  3. All buildings, structures and sites shall be recognized as products of their own time. Alterations which have no historical basis and which seek to create an earlier appearance shall be discouraged.
  4. Changes, which may have taken place in the course of time, are evidence of the history and development of a building, structure or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
  5. Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure or site shall be treated with sensitivity.
  6. Deteriorated architectural features shall be repaired rather than replaced wherever possible. In the event that replacement is necessary, the new material shall match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features shall be based on accurate duplications of features substantiated by historical, physical or pictorial evidence rather than on conjectural design or the availability of different architectural elements from other buildings or structures.
  7. The surface cleaning shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
  8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any acquisition, protection, stabilization, preservation, rehabilitation, restoration or reconstruction project.
  9. When the replacements are made, exterior architectural elements, such as but not limited to windows, doors, and siding, shall be replaced with a style and finish of the period of significance of the building. Use of original materials is preferred.
- B. Standards for Protection.
1. Before applying protective measures, which are generally of a temporary nature and imply future historic preservation work, an analysis of the actual or anticipated threats to the property shall be made.
  2. Protection shall safeguard the physical condition or environment of a property or archaeological site from further deterioration or damage caused by weather or other natural, animal or human intrusions.
  3. If any historic material or architectural features are removed, they shall be properly recorded and, if possible, stored for future study or reuse.
- C. Standards for Stabilization.
1. Stabilization shall reestablish the structural stability of a property through the reinforcement of load-bearing members or by arresting material deterioration leading to structural failure. Stabilization shall also reestablish weather resistant conditions for a property.
  2. Stabilization shall be accomplished in such a manner that it detracts as little as possible from the property's appearance. When reinforcement is required to reestablish structural stability,

such work shall be concealed wherever possible so as not to intrude upon or detract from the aesthetic and historical quality of the property, except where concealment would result in the alteration or destruction of historically significant material or spaces.

D. Standards for Preservation.

1. Preservation shall maintain the existing form, integrity and materials of a building, structure or site. Substantial reconstruction or restoration of lost features generally are not included in a preservation undertaking.
2. Preservation shall include techniques of arresting or retarding the deterioration of a property through a program of ongoing maintenance.

E. Standards for Rehabilitation.

1. Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historic, architectural or cultural material and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.
2. Wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

F. Standards for Restoration.

1. Every reasonable effort shall be made to use a property for its originally intended purpose or to provide a compatible use that will require minimum alteration to the property and its environment.
2. Reinforcement required for structural stability or the installation of protective or code-required mechanical systems shall be concealed whenever possible so as not to intrude or detract from the property's aesthetic and historical qualities, except where concealment would result in the alteration or destruction of historically significant materials or spaces.
3. When archeological resources must be disturbed by restoration work, recovery of archeological material shall be undertaken in conformance with current professional practices.

G. Standards for Reconstruction.

1. Reconstruction of a part or all of a property shall be undertaken only when such work is essential to reproduce a significant missing feature in a historic district or site, and when a contemporary design solution is not acceptable.
2. Reconstruction of all or part of a historic property shall be appropriate when the reconstruction is essential for understanding and interpreting the value of a historic district or when no other building, structure, object or landscape feature with the same associative value has survived and sufficient historical documentation exists to ensure an accurate reproduction of the original.
3. The reproduction of missing elements accomplished with new materials shall duplicate the composition, design, color, texture and other visual qualities of the missing element. Reconstruction of missing architectural features shall be based upon accurate duplication of original features, substantiated by historical, physical or pictorial evidence rather than upon conjectural designs or the availability of different architectural features from other buildings.
4. Reconstruction of a building or structure on an original site shall be preceded by a thorough archaeological investigation to locate and identify all subsurface features and artifacts.
5. Reconstruction shall include measures to preserve any remaining original fabric, including foundations, subsurface and ancillary elements. The reconstruction of missing elements and features shall be done in such a manner that the essential form and integrity of the original surviving features are unimpaired.

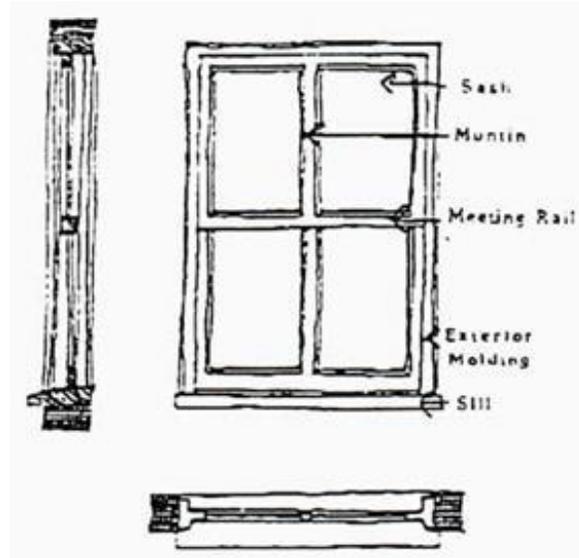
H. Standards for New Construction.

1. In considering whether to approve or disapprove an application for a permit for new construction in an historic district, the Commission shall be guided by standards of the Secretary of the Interior and the following compatibility standards.
2. New construction need not replicate historic older buildings or structures, but may reflect contemporary design standards so long as the design and construction is compatible with surrounding historic structures. Building height, width, mass and proportion affect the degree of compatibility between the old and the new.
  - a. Site and Setting. A developer intending to utilize a historic resource as a part of a development must consider the context of the resource's original site by honoring the original historic intention of said resource and integrating it respectfully into the new development. Design elements shall have compatible rhythm and repetition with an emphasis on historically compatible materials and colors.
  - b. Building Height. Height shall be visually compatible with adjacent buildings. The apparent physical size, scale and height shall relate to existing resources.
  - c. Openings on Frontal Facades. The width and height of windows, doors and entries must harmonize in scale and proportion with the width and height of windows, doors and entries of buildings and structures of historic significance in the surrounding environment.
  - d. Relationship of Unbroken Planes to Voids (i.e., punctured planes) in Front Facades. The relationship of unbroken planes (i.e., walls) to voids (i.e., windows and doors) on the façade of a building or structure shall be aesthetically harmonious with that of buildings and structures of historic significance in the surrounding environment.
  - e. Relationship of Vacant Land to Buildings/Structures. The relationship of a building or structure to the vacant land between an adjacent building or structure shall not violate the existing paradigmatic spatial relationship of historically significant structures to the vacant land between said structures and adjoining buildings. The building mass in large architectural projects can be varied in form by using setbacks to create open spaces and landscaping when desirable to provide harmonious visual transitions between new construction and the adjacent historic properties.
  - f. Relationship of Exterior Projections to the Street. The relationship of exterior projections to the street in new construction shall be aesthetically harmonious with the relationship of exterior projections to the street in the surrounding existing buildings of historic significance.
  - g. Relationship of Major Exterior Building Materials. The major exterior building materials on the façade of a building or on a structure shall reflect the predominant major building materials existent on the facades of historically significant buildings and on structures in the surrounding environment.
  - h. Roof Forms. The roof form and slope of a building or structure is a major element in the visual image of the building. Therefore, designers must take care to honor paradigmatically in new construction the existing historic roof forms and slopes so as not to violate the aesthetic harmony of the whole.
  - i. Continuity in Visual Imagery of Appurtenances. Appurtenances of a building or structure such as walls, fences and landscaping shall honor the relationship of appurtenances to buildings of historic significance in the surrounding environment.
  - j. Scale of Buildings. The scale of buildings and structures shall be in scale with the buildings and structures of historic significance.
  - k. Signage. Signs which are out of keeping with the character of the environment in question shall not be used. Excessive size and inappropriate placement on buildings results in visual clutter and shall be designed to relate harmoniously to exterior building materials and colors. A good sign shall express a simple clear message with wording kept to a minimum.

1. Site Planning. The site planning of landscaping, parking facilities, utility and service areas, walkways and appurtenances must reflect the site planning of landscaping, parking facilities, utility and service areas, walkways and landscape features reticulate to buildings or structures of historic significance.
- m. Accessory Garage Design. All garage facades shall be in character with the immediate surrounding historic properties and must be compatible with the significant historic features and characteristics of the facades and streetscape of the immediate block front on which the proposed structure is located as well as the block front directly across the street.
- n. Off-Street Parking. All required off-street parking shall be enclosed, and the enclosure shall be in character with the design of the immediate surrounding historic structures as outlined in this chapter. Such parking shall be designed so as to be at least fifty percent (50%) below grade and covered and shall be located entirely under the building where feasible, but, if located within the rear yard area, at least fifty percent (50%) of the entire yard area, including the garage rooftop area, shall consist of landscaping which may be a combination of grass, groundcover and shrubs, and the remaining area shall be covered with decorative brick or concrete pavers, or comparable, durable materials.
- I. Relocation of a Landmark or Building, Object or Structure Located in a Historic District. In considering whether to recommend, approve or disapprove an application for a permit to relocate a building, object or structure designated a historic landmark or located in a historic district, the Commission shall be guided by the following considerations:
  1. The historic character and aesthetic interest the building, structure or object contributes to its present setting.
  2. Whether there are definite plans for the area to be vacated and what the effect of those plans on the character of the surrounding area will be.
  3. Whether the building, structure or object can be moved without significant damage to its physical integrity.
  4. Whether the proposed relocation area is compatible with the historical and architectural character of the building, object or structure.
- J. Demolition.
  1. The following shall be considered in regard to an application to demolish an individual landmark building, structure, site or object or any building, structure, site or object contained within a historic district **[Amended 9-15-2010 by Ord. No. 10-106]**:
    - a. Its historic, architectural and aesthetic significance.
    - b. Its use.
    - c. Its importance to the city and the extent to which its historic or architectural value is such that its removal would be detrimental to the public interest.
    - d. The extent to which it is of such old, unusual or uncommon design, craftsmanship, texture or material that it could not be reproduced or could be reproduced only with great difficulty.
    - e. The probable impact of its removal upon the ambience of the historic district.
    - f. The structural soundness and integrity of the building so as to comply with the requirements of the state uniform code.
    - g. The effect on the remaining portion of the building, structure, site, object or landscape feature in cases of partial demolition.
  2. In the event that the structure is unsafe or unsound so as to impose a danger to health or safety, the power and authority of the City of Jersey City to demolish the structure, as otherwise provided by law, shall not be impaired or altered in any way by the provisions of this chapter.

The city shall be exempt from making an application to the Commission but shall notify the Commission prior to the demolition.

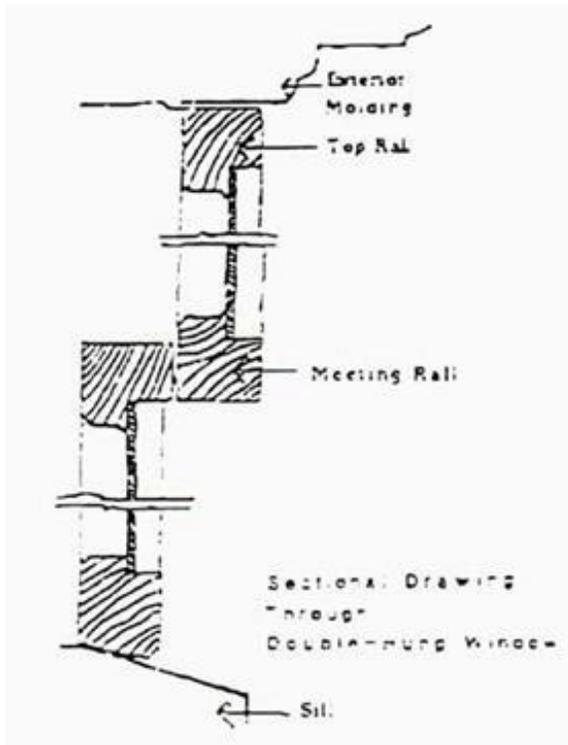
3. If an application to demolish is denied, the applicant shall follow the appeal process detailed herein for denial of certificates of appropriateness.
- K. Other Guidelines. The commission shall utilize locally generated guidelines or historic preservation aids in addition to the Secretary of Interior's Standards.
- L. Additional Regulations for Alterations and Additions to Buildings and New Construction.



1. Windows.

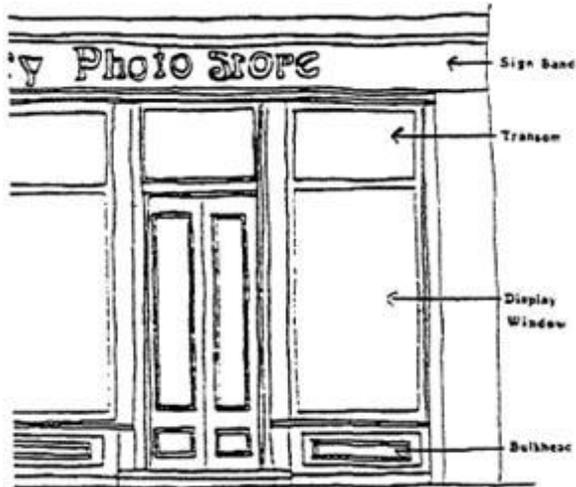
- a. Repair. Deteriorated windows can often be repaired and made sound and fully operational. A Certificate of No Effect is required to undertake ordinary repairs including:
  - i. Replacing or rebuilding any parts of a window such as the sill and portions of the sash and frames using the same material and with the same configuration, shape and dimension.
  - ii. Scraping, priming and repainting of window sash and/or frame.
  - iii. Consolidating wood members with cellulose wood fillers or chemical materials. Change in shape, size or configuration require a Certificate of Appropriateness.
- b. Replacement.
  - i. If historic windows have deteriorated to a point precluding repair, rehabilitation or restoration, based on documentation submitted by the applicant, or a field inspection by the Historic Preservation Officer, replacement windows may be approved under a Certificate of No Effect if they match the historic windows in terms of configuration, operation, details, material and finish. Variations in details will be permitted if such variations do not significantly affect the visual characteristics of the historic window, including the shadow effect of muntins and sash on the glazing. In evaluating "significant" effect, other factors to be considered shall be the age of the building and its architectural quality, as well as the extent of reduction in the total glazed area of the proposed sash compared to the existing sash. For narrow wood windows (less than fifteen (15) inches wide), the reduction shall be limited to ten percent (10%); for wood windows, fifteen (15) inches or wider, the reduction shall be limited to six percent; for metal double-hung windows (of any size), the reduction shall be limited to ten percent (10%).

- ii. In buildings less than thirty (30) years old, the replacement windows need not match the historic window in terms of materials. The finish, however, must match the finish of the original windows. On secondary facades, windows which are visible from a public thoroughfare need only match the historic windows in terms of configuration and finish.
- iii. Proposals for replacement windows which do not meet these conditions will require a Certificate of Appropriateness.
- c. Storm Windows. The installation of exterior storm windows will be granted a Certificate of No Effect providing they meet the following conditions:



- i. Exterior storm windows shall fit tightly within window openings without the need for a subframe or panning around the perimeter.
- ii. The color of the frames of the storm windows shall match the color of the primary window frame.
- iii. Glazing shall be clear.
- iv. The storm sash shall be set as far back from the plane of the exterior wall surface as is practicable.
- v. Muntins shall not be permitted.
- vi. Meeting rails may be used only in conjunction with double-hung windows and shall be placed in the same relative location as in the primary sash.
- d. Supporting Documentation. Applications for replacement windows must include photographs and dimensioned drawings of the existing condition of the windows. In addition, manufacturer's catalogue cuts or full or half-scale drawings of the proposed windows with comparative dimensions, details of construction and configuration and color and finish samples are required. Proposals for a change in material shall include a material sample.

## 2. Storefronts.



### a. Repair.

- i. Every effort should be made to retain and repair historic storefronts as well as significant surviving fragments of historic storefronts. While a non-original historic storefront may differ in style from the original building, it reflects the shifts in popular taste and documents the changes over time within an historic district and should be treated with sensitivity.
- ii. A Certificate of No Effect is required for ordinary repairs to existing storefronts, both historic and non-historic. This would include replacing deteriorated, damaged or missing features with matching components and painting or refinishing.
- iii. Changes in design or configuration of an historic storefront requires a Certificate of Appropriateness.

### b. Replacement.

- i. If replacement of a storefront is necessary, the design of the new storefront should reproduce the historic storefront in terms of its configuration, materials, placement, proportions and extent of glazed area. The design of the replacement store front may be based on surviving historic storefronts elsewhere on the building or another identical building, or on documentary evidence such as original architectural drawings or old photographs.
- ii. In cases where the historic storefront has been replaced and there is no extant historic storefront elsewhere on the building, nor on another identical building, and no documentary evidence can be found, a contemporary design is permissible and should meet the following criteria:
  - (A) It fits entirely within the existing storefront opening(s);
  - (B) It incorporates any architecturally and/or historically significant surviving fragments of an historic storefront;
  - (C) It is compatible with the original materials and colors of the upper floors; and
  - (D) It includes traditional storefront elements (i.e. transoms, glass display windows, low bulkheads, recessed entrance, signband) which are appropriate to the age and style of the building.

- iii. All applications for new storefronts require a Certificate of Appropriateness.

### c. Signage. In accordance with other provisions in this chapter (See 345-68 and 345-71.M).

[Amended 5-28-2008 by Ord. No. 08-072]

- d. Awnings. Awnings are permitted on storefronts and should meet the following conditions: The awning is a retractable type with a sloped profile (exception may be made for buildings less than thirty (30) years old and non-historic storefronts);
    - i. The metal frame is covered with canvas fabric in an historically appropriate color and pattern to the building and the historic district;
    - ii. Lettering on the awning is limited to the skirt; however, logos may be printed on the sloped portion of the awning;
    - iii. The awning frame is attached to the building in such a way that it does not destroy or cause irreversible damage to significant architectural features;
    - iv. The awning fits within the storefront opening and has the same shape as the opening.
  - e. Security Gates.
    - i. Security gates should be installed in the interior of all storefronts and should be of the open-link variety. If new storefronts are to be installed, or in cases where the historic storefront had external security gates, the gate tracks should be recessed into the glazing reveal and the gate housing should be flush with the plane of the storefront, and should be contained within a plenum space above the storefront or behind a transom panel or signage panel. The gate housing, tracks or mechanical boxes should not protrude from the plane of the storefront or be apparent. Exterior scissor-type gates are also acceptable.
    - ii. Applications for open link interior security gates require a Certificate of No Effect. Applications for all other security gates require a Certificate of Appropriateness.
  - f. Supporting Documentation. Applications for replacement storefronts must include photographs of the existing storefront, to scale drawings of the proposed storefront, signage, awning and/or security gates (elevation, sections and full or half-scale details), and materials and color samples.
3. Additions.
- a. Rear Yard Additions.
    - i. A Certificate of No Effect will be granted for applications for rear yard additions which meet the following criteria:
      - (A) The proposed addition is not visible from a public thoroughfare or right-of-way.
      - (B) The addition will not extend to the rear lot line, nor substantially eliminate the presence of a rear yard.
      - (C) Other rear yard incursions exist within the block.
      - (D) The proposed work complies with the Historic Zoning District regulations and will not require a variance.
      - (E) The rear addition does not rise to the full height of the building.
      - (F) The existing rear façade will not be removed from the entire width of the building. Instead, existing openings will be modified to provide access into the addition. (This approach retains original building fabric and reduces structural intervention.)
    - ii. Applications for rear yard additions which do not meet the criteria will most likely require a Certificate of Appropriateness. For proposed additions which will be visible from a public thoroughfare or right-of-way, the Commission will consider the effect of the addition on any significant architectural features on the building's rear façade, and

the scale and architectural character of the addition's façade in relation to the building's front façade.

- b. Rooftop Additions. A Certificate of No Effect will be granted for applications for rooftop additions which meet the following criteria:



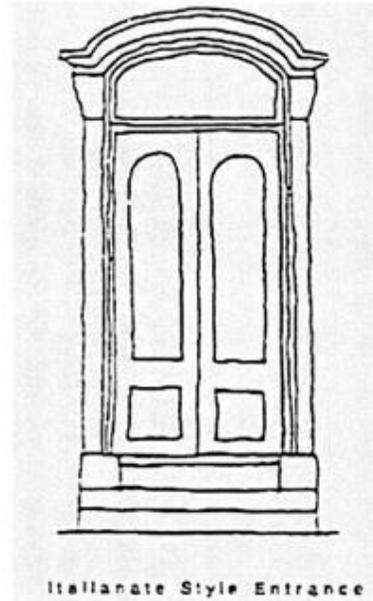
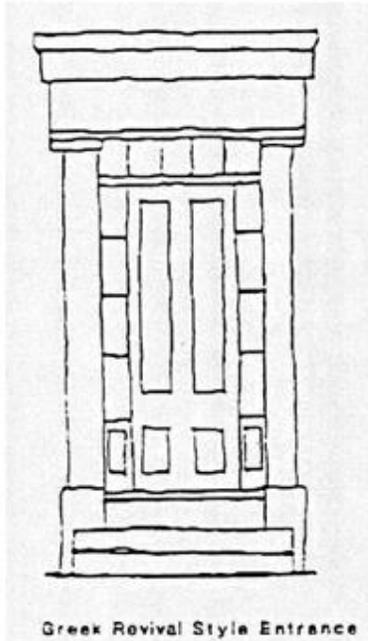
- i. The addition consists of mechanical equipment, egress or mechanical bulkheads or utilitarian skylights only; or the addition consists of living space and complies with the Historic Zoning regulations.
  - ii. The roof of the subject building is not a significant feature of its design.
  - iii. The addition is not visible from a public thoroughfare or right-of-way.
  - iv. If the building possesses a significant roof silhouette, the addition does not interrupt the roof or skyline.
  - v. The materials of the addition are in the nature of utilitarian rooftop accretions and are in keeping with the existing roofscape.
  - vi. The addition does not adversely affect the significant ensemble of buildings by creating a distracting element in an otherwise uniform roofscape.
  - vi. The addition does not adversely affect the significant ensemble of buildings by creating a distracting element in an otherwise uniform roofscape.
  - vii. Applications for rooftop additions which do not meet the above criteria will most likely require a Certificate of Appropriateness.
- c. Supporting Documentation. Applications for rear yard or rooftop additions must include photographs of the existing buildings (including rear facade for rear additions), individually and in the context of the neighborhood, to-scale floor plans, elevations and sections of the building and addition, to-scale sight line drawings for rooftop additions, a site plan of the entire block for rear yard additions, full or half scale details of windows, doors and decorative trim, materials and color samples.

[Amended 11-10-2010 by Ord. No. 10-129]

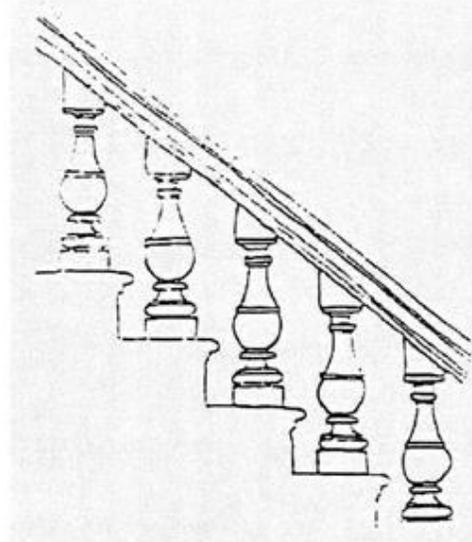
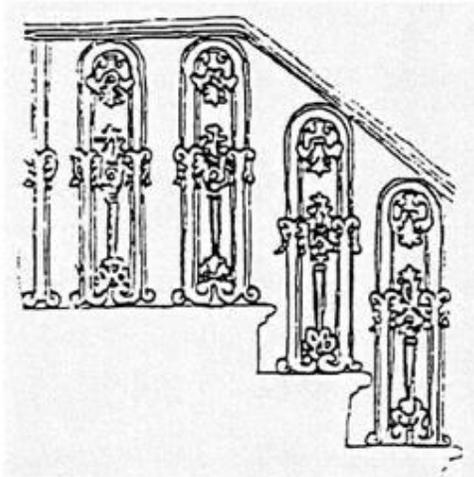
4. Restoration.



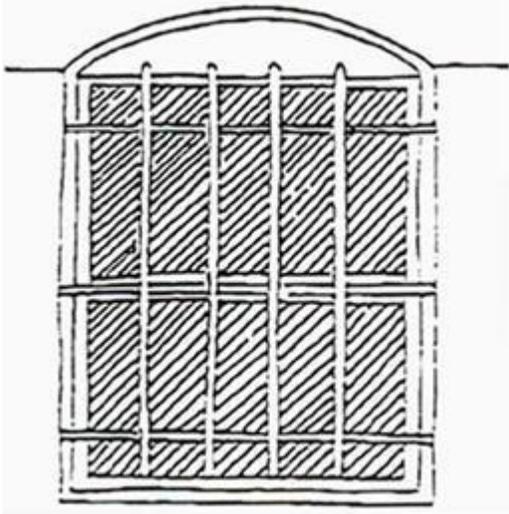
- a. A Certificate of No Effect will be granted for applications for the restoration of a building or building façade features (such as stoops, cornices, window and door openings and enframements) to their historic appearance when the following criteria are met:
  - i. The restoration would not cause the removal of non-original historic building fabric (i.e., Victorian Period features on an early 19th Century structure).
  - ii. The restoration is based on documentation such as:
    - (A) Physical evidence on the building;
    - (B) Original drawings;
    - (C) Old photographs;
    - (D) An identical building.
  - iii. The restored features match the texture, color, profiles, details and dimensions of the original feature.
  - iv. Restoration work which does not conform to the above criteria will require a Certificate of Appropriateness.
  - v. Supporting documentation for restoration work shall include photographs of the existing conditions, documentation upon which the restoration is based, and the materials and methods proposed by the contractor in the form of specifications, a contract, or a letter.
5. Exterior Doors (Primary Facades).



- a. Repair. Repair of historic doors including stripping, refinishing, replacing deteriorated parts-in-kind, replacing hardware matching the original, and replacing glazing in-kind, requires a Certificate of No Effect.
  - b. Replacement. Historic doors may not be removed, unless beyond repair. A Certificate of No Effect will be granted for replacing deteriorated historic doors or non-historic doors with new doors which match the historic doors. A Certificate of Appropriateness will be required for the following:
    - i. New doors which do not match the historic doors;
    - ii. Enlarging or reducing the existing door opening;
    - iii. Replacement doors of a different configuration than the historic doors;
    - iv. Alterations to historic doors which significantly affect their appearance.
  - c. Supporting Documentation. Applications for replacement doors must include photographs of the building and the existing door showing deterioration, documentation of the historic doors if available, to scale drawings of the proposed doors within the opening (elevations and sections), and a finish sample.
6. Ironwork.



- a. Fences and Railings. A Certificate of No Effect will be granted for the following:
  - i. Ordinary repairs to existing fence and railings.
  - ii. Replacement of missing, non-historic or severely deteriorated historic fences and railings providing that the new ironwork matches the historic ironwork based on documentation such as historic photographs, extant examples on identical buildings, or remnants of the historic ironwork.
  - iii. A Certificate of Appropriateness is required for the following:
    - (A) Replacement ironwork which does not match the historic fence and/or railing.
    - (B) The installation of a fence or railing in a location which historically had no ironwork.
    - (C) Alterations to or removal of historic fences and railings.
    - (D) In instances where historic fences and/or railings have been removed or replaced and no documentation of the historic ironwork is available, the Commission recommends either a design which is stylistically compatible with the building or a simple contemporary design which is not intrusive to the special architectural and historic character of the building and the streetscape. Both alternatives require a Certificate of Appropriateness.
- b. Window and Door Security Gates.



- i. A Certificate of No Effect will be granted for the installation of exterior window and/or door security gates providing they are existing features of the building and the proposed gates do not detract from the historic and architectural character of the building.
  - ii. A Certificate of Appropriateness will be required for the installation of window and/or door security gates if none exist. The proposed gates should meet the following criteria:
    - (A) A simple design.
    - (B) Conform to the shape of the opening.
    - (C) Be mounted within the opening.
    - (D) Have no frame (window gate).
  - iii. Exterior window gates are not permitted above the first floor on the front façade, which shall not be construed to mean the parlor floor (see definition of parlor floor). Window gates which accommodate air conditioner units should have simple boxes or holes rather than more elaborate curved protrusions, unless the latter is appropriate to the building's architectural character.
  - c. Supporting Documentation. Applications for new ironwork must include photographs of the building, both present and historic, dimensioned drawings of the proposed ironwork (elevation and full or half-scale section), a site plan showing extent of ironwork (only for installations proposed in locations where no ironwork presently exists).
7. Residential Awnings.



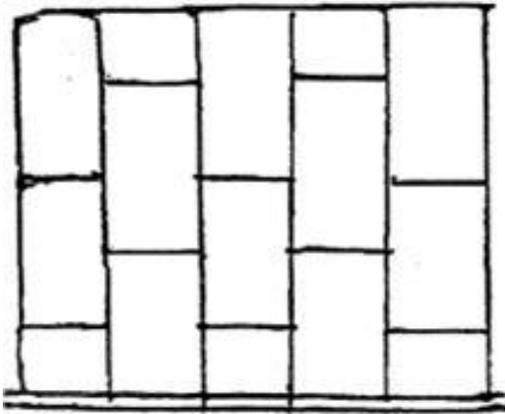
- a. Awning installation on residential buildings require a Certificate of Appropriateness and should meet the following criteria:
    - i. The awnings are retractable;
    - ii. The metal frame is covered with canvas fabric in an historically appropriate color and pattern for the building and the historic district;
    - iii. The awnings fit within the window and/or door openings and have the same shape as the openings;
    - iv. The awning frames are attached to the building in such a way that they do not destroy or cause irreversible damage to significant architectural features.
  - b. Supporting documentation for applications for residential awnings must include present and historic photographs of the building, to scale drawings (elevation and section) of the installation, and a material and color sample.
8. Commercial Awnings.
- a. The installation of a commercial awning requires a Certificate of Appropriateness and should meet the following criteria:
    - i. The metal frame is covered with canvas fabric in an historically appropriate color and pattern for the building and the historic district.
    - ii. The awning frames are attached to the building in such a way that they do not destroy, conceal from view, or cause irreversible damage to significant architectural features.
    - iii. The awning is an appropriate size for storefront.
    - iv. The awning lettering should be limited to the name of the business and address. A brief description of the business may be acceptable.
  - b. Supporting documentation for applications for commercial awnings must include present and historic photographs of the building, to scale drawings of the installation including lettering and a material and color sample.
9. Imitation Cladding.



- a. Vinyl and Aluminum Siding. The Commission discourages the use of vinyl or aluminum siding on historic buildings. These materials are not permitted on masonry buildings. On buildings which have existing vinyl or aluminum siding, individual units may be replaced with matching materials if necessary following the issuance of a Certificate of No Effect. On buildings with wood clapboard siding and/or shingles, the Commission encourages retention of the historic material or replacement with matching materials.
  - b. If an applicant chooses to apply for aluminum or vinyl siding, a Certificate of Appropriateness is required.
  - c. Imitation Facing. The Commission discourages the application of imitation stone or brick facings. On buildings which have existing imitation stone and brick facings, ordinary repairs and repainting may be performed following the issuance of a Certificate of No Effect. One exception is a refacing of a severely deteriorated brownstone façade with a cementitious mix tinted to match the color of brownstone. Such work will be granted a Certificate of No Effect providing it meets the following criteria:
    - i. The existing brownstone surface is exfoliating, damaged or otherwise unsound (as documented in photographs).
    - ii. The proposal calls for the replication of the original texture, color profiles and details.
    - iii. The proposed calls for damaged stone to be cut back to sound stone and the new surface to be keyed into the sound stone and built up in successive layers using a cementitious mix with the top layer tinted and finished to match the original brownstone texture and color. In some cases, a sample patch may be requested for inspection and approval by the Historic Preservation Officer.
    - iv. The use of wire lath is prohibited.
10. New Window Openings.
- a. A Certificate of No Effect will be granted for new window openings when the following criteria are met.
    - i. The proposed window openings are located on a secondary façade.
    - ii. The new window openings and sash retain the same shape, dimensions and configuration as the building's existing windows.
    - iii. The new lintels and sills match the design, color, and texture of other window openings on the façade.
    - iv. The location of the new openings are consistent with the existing pattern of bays.

- v. The new openings do not detract from any significant historic architectural features on the building.
  - vi. Proposed new window openings which do not meet all of the above criteria will require a Certificate of Appropriateness.
- b. Supporting documentation for applications for new window openings must include photographs of primary and secondary facades and a to scale elevation of the façade(s) indicating the proposed new openings.

11. Sidewalk Repair and Replacement.



## CURB

- a. Repairs of less than fifty percent (50%) of existing sidewalk.
  - i. For repairs, the replacement units should be of like material and color to match the existing sidewalk. Intact blue stone paving must not be removed and discarded. Intact blue stone which has moved due to the thrust of tree roots or the freeze and thaw cycle and that presents a safety hazard to pedestrians, should be carefully removed and reset in sand, quarry, dust or dirt.
- b. Replacement of More than Fifty Percent (50%). In the case of stone paving such as blue stone, the replacement units should be of the same material, shape, and size as the existing stone paving.
  - i. When the previous material is concrete, then blue stone or colored concrete must be used. Colored concrete after curing should be Scofield Charcoal Gray or equivalent. The texture of the concrete should be made smooth with a wood float in order to create a texture more like blue stone. The sidewalk should cure without fine finishing and lines should be scored without edging. Corners (intersections) need to meet ADA standards and sloped areas (re: driveways or ramps) should have a light broom finish for traction.

[Amended 11-10-2010 by Ord. No. 10-129]

- c. Not Acceptable. New sidewalks of white or natural concrete of more than fifty percent (50%), irregular "patio" styles and varying colors with great contrast are not acceptable. Patio styles that are historically appropriate or create the appearance of blue stone are acceptable, but subject to approval by the historic preservation officer.
- d. Curbs. Existing stone curbing should not be removed in sidewalk repair, with the exception of new handicapped curb cuts at street corners. If new curbing is required, replacing concrete curbs or at handicapped cuts, they should be poured concrete and meeting city

standards for dimensions. The color should be French gray. Matching the color mixture of the sidewalks.

- e. Supporting documentation for applications for sidewalk repair and/or replacement must include photographic documentation of existing conditions and a dimensioned sketch of the proposed paving pattern.

M. Signs.

1. All signs shall reflect the historic character of the area of the proposed sign placement and will respect the size, scale and mass of the facade, building height and rhythms and sizes of windows and door openings.
2. No signs shall be back-lighted.
3. Projecting signs shall be permitted in accordance with § 345-68
4. All signs within the historic district require a Certificate of Appropriateness, except that applications for unlit interior window signage only shall require a Certificate of No Effect.

[Amended 5-28-2008 by Ord. No. 08-072]